

Inspection Report

**New Mexico
Homebuyer**

Property Address:
1234 Camino St.
Las Cruces NM 88001



Inspection Connection LC

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Table of Contents

Cover Page	1
Table of Contents	2
Intro Page	3
1 Structural Components	8
2 Roof	10
3 Exterior	15
4 Garages, Overhead Doors, Utility and Storage Areas	18
5 Insulation and Ventilation	20
6 Electrical	21
7 Plumbing	28
8 Heating, Ventilation and Air Conditioning	35
9 Kitchen and Built-In Appliances	38
10 Interiors	39
General Summary	45

Inspection Connection LC

Date: 4/20/2022	Time: 08:35 AM	Report ID: Sample
Property: Las Cruces NM 88011	Customer: NM Homebuyer	Real Estate Professional: Best in LC

General Inspection Report Information

A home inspection is a property condition examination and report. THE HOME INSPECTOR DID NOT DETERMINE AND THIS REPORT DOES NOT CONTAIN A DETERMINATION OF WHETHER THE HOME OR COMPONENTS AND/OR SYSTEMS OF THE HOME THAT HAVE BEEN INSPECTED CONFORM TO LOCAL OR STATE BUILDING CODE REQUIREMENTS. It is not a building code compliance inspection or a building "safety" inspection. It is not a home warranty, guarantee, or insurance of any kind. It is not a substitute for a seller's disclosure statement or a pre-closing walk through. It does not replace insurance to protect against eventual deterioration of systems and components. If Customers are interested in information regarding these types of warranties and insurance, it is recommended that they contact companies which may provide these services.

It is recommended that all repairs, corrective measures, or new work undertaken on any system or component be performed only by qualified individuals. Only new or appropriate materials should be used. All work should be performed in a workmanlike manner and in accordance with all appropriate and applicable industry standards and governmental codes and regulations. Subsequent to completion and where appropriate and applicable, it is recommended that all such work be documented by work orders, invoices, or receipts from the individuals or companies which performed the work as well as, where applicable, by copies of all signed off building permits as well as lien releases from contractors and their employees, other workers, and material suppliers. All systems and components require ongoing and prudent periodic maintenance to obtain their maximum service lives.

A home inspection is a limited visual, non-technical examination of readily accessible and contractually specified systems and components of a home. Therefore, occasionally, in the course of performing examinations, modifications, or corrective measures as a result of the information contained in the Inspection Report, the appropriate and qualified parties performing such work may determine that there are other conditions which could not be determined in the course of the original inspection and for which modifications or corrective measures are also recommended.

It is also recommended that a copy of the appropriate portion or portions of the inspection report be provided to all qualified individuals technicians, specialists, or contractors who further evaluate and/or perform modifications or corrective measures to address adverse conditions documented in the inspection report.

When work requiring a permit is performed without obtaining the proper permit and inspections, that work may be considered nonconforming and illegal by governmental agencies which are charged with the promulgation and enforcement of building codes, ordinances, and regulations. Nonconforming work may increase the potential for damage to the home or its systems and components as well as for injury to persons occupying or entering the property. It may also adversely affect specific insurance coverage and the salability of the property and may result in added costs in the form of additional fees and/or property taxes or other penalties.

The written observations and recommendations contained in the Inspection Report are based on the knowledge and experience of the inspector. Customers may receive different information from other inspectors, trades persons, insurance adjusters, private or public personnel, contractors, building and system warranty services personnel, or other parties whose interests are different from the Company's interests. If information is received which differs from that contained in the written Inspection Report, it is recommended that such information also be obtained in writing on the appropriate company or agency letterhead, bearing all applicable licensing numbers, and signed by the individual providing the information.

When another party states that an adverse condition for which ACTION RECOMMENDED is indicated in the Inspection Report does not require any modifications or corrective measures, it is recommended that that party be asked to put such statement in writing accompanied by a signed letter which states that no action is necessary. Such letter should be on appropriate company letterhead and should include any applicable business or trade licensing numbers.

A home inspection is not an examination to determine any compliance with any governmental codes, ordinances, or regulations. An inspector may choose to provide information pertaining to original grandfathered(1) system and component installation and assembly practices and to current practices in order to assist Customers in the event that they indicate an intention to modify, enhance, or augment such systems and components. The differences between any such original

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grandfathered(1) building and construction practices and current practices do not constitute adverse conditions in the subject property and shall not be documented in the report as such. All new work should be performed only by qualified parties in accordance with all applicable industry standards and governmental requirements pertaining to permits, codes, ordinances, and regulations.

(1)With regard to conditions which met governmental building codes and regulations at the time of original construction, with specific exceptions, the home is typically “grandfathered” and is not required to be brought into conformance with newer codes.

When new work is performed, a given jurisdiction may require that specific portions or all of the original building and/or its systems be brought into conformance with current applicable building codes, ordinances, or requirements.

HOME INSPECTION REPORT GLOSSARY©

For the purposes of this Inspection and Inspection Report, the terms listed below in this section are defined as follows. When any of these terms appear in the Inspection Report or this glossary, they will be in bold and all-capitalized text, in color, in italics, or otherwise highlighted.

ACTION RECOMMENDED: (Regarding ADVERSE CONDITIONS documented in the report) It is strongly recommended that further examination and any necessary modifications or corrective measures be performed by a QUALIFIED individual, technician, or contractor as soon as possible. If such examination reveals other ADVERSE CONDITIONS for which modifications or corrective measures are also deemed necessary, it is recommended that they be addressed by a QUALIFIED individual at that time.¹

ADVERSE CONDITION: A condition which is producing or which has the potential to produce a detrimental effect on a SYSTEM or COMPONENT, which is impairing its NORMALLY INTENDED FUNCTION OR OPERATION, or which is ATYPICAL.

ATYPICAL(LY): With regard to ADVERSE CONDITIONS in SYSTEMS and COMPONENTS: Not typical, not conforming to the type; irregular; abnormal, and/or not consistent with applicable GENERALLY ESTABLISHED PRACTICES.

COMPONENT: A constituent element or part of a SYSTEM. With regard to this definition, COMPONENT means and refers only to a PERMANENT COMPONENT.

DESCRIBE: To document in writing.

EXAMINE(D): To visually assess the condition of specific READILY ACCESSIBLE SYSTEMS and COMPONENTS of a home in accordance with the contractual scope of inspection.

GENERALLY ESTABLISHED PRACTICES: Of or pertaining to any one or more of the following: the historically/ conventionally applied and acknowledged methods of installation, assembly, and operation/use of residential SYSTEMS and their related materials and COMPONENTS. Such practices can vary based on those which were applicable when modifications to the property were made subsequent to original construction.

HOME INSPECTION: The process by which the READILY ACCESSIBLE SYSTEMS and COMPONENTS of a home are EXAMINED for ADVERSE CONDITIONS in accordance with the contractual scope of inspection.

HVAC - Heating, Ventilation and Air Conditioning.

IDENTIFY: To DESCRIBE a specific SYSTEM or COMPONENT by its type and to distinguish it by characteristics such as general or specific material(s), energy source(s), etc. which differentiate that SYSTEM or COMPONENT from other similar SYSTEMS or COMPONENTS.

IMPROPER: Not consistent with applicable GENERALLY ESTABLISHED PRACTICES.

INACCESSIBLE: Not READILY ACCESSIBLE in accordance with the contractual scope of inspection.²

INOPERABLE: Does not respond to NORMAL OPERATING CONTROLS and is unable to be evaluated for its NORMALLY INTENDED FUNCTION AND/OR OPERATION.²

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INSPECTED: The SYSTEM or COMPONENT was EXAMINED in accordance with the contractual scope of inspection (using NORMAL OPERATING CONTROLS where applicable) and no ADVERSE CONDITIONS were observed.

NORMAL OPERATING CONTROLS: Thermostats, switches, valves, and other devices intended by design and manufacture to be used by homeowners or occupants in the normal and regular day-to-day operation of SYSTEMS or COMPONENTS.³

NORMALLY INTENDED FUNCTION OR OPERATION: The customary and conventional purpose or use for which a SYSTEM or COMPONENT is installed and for which it is designed and intended by its manufacturer.

NOT APPLICABLE: The specified SYSTEM or COMPONENT was not present or it was the outside the contractual scope of inspection.

NOT EXAMINED: The specified SYSTEM or COMPONENT was not visually EXAMINED because it was not READILY ACCESSIBLE due to weather, landscaping, personal property, pets, factors beyond the inspector's control, and/or factors beyond the contractual scope of inspection. When the Inspection Report indicates that a specific a SYSTEM or COMPONENT was NOT EXAMINED, the Inspection Report will also indicate the specific reason.

PERMANENT: Designed or intended to remain where originally placed; not easily moved; attached, connected, or set in place for use such that moving or removal requires the use of tools or equipment.

QUALIFIED: Having the training, skills, knowledge, expertise, and experience necessary to competently address ADVERSE CONDITIONS and ROUTINE MAINTENANCE conditions and, where applicable, holding all required licenses and meeting all applicable governmental and statutory requirements.

READILY ACCESSIBLE: In the sole determination of the inspector, visually observable and able to be EXAMINED without requiring destructive measures; without risk to the inspector or others; without risk of damage to any item of personal or real property; without requiring the inspector to move, remove, damage, or disturb any wall, floor, ceiling, or window coverings; or any interior or exterior claddings or finish treatments; to move, remove, damage, disturb, climb upon, climb over, or straddle any item of personal property; to move, remove, damage, or disturb any landscape elements; or to interrupt the business of occupants, and not requiring disassembly or the use of any special protective clothing or special tools or equipment.

This definition as it applies to the contractual scope of inspection includes the inspection of roof covering COMPONENTS, the COMPONENTS of other SYSTEMS which are installed on roofs, attics, and the interiors of electrical SYSTEM main distribution panels and subpanels with the following exceptions:

A. When, in the sole determination of the inspector, roofs are READILY ACCESSIBLE, an inspector may choose to use a ladder or other means to EXAMINE roof covering COMPONENTS and/or the COMPONENTS of other SYSTEMS which are installed on roofs. The report will indicate the means used to examine roofs and attics as well as any general areas of roofs and attics which were not examined and the reason such areas were not examined.

B. When, in the sole determination of the inspector, primary electrical distribution panelboards or secondary panelboards and their related dead front covers and fasteners are READILY ACCESSIBLE, the inspector will remove the dead front covers of such panelboards in order to EXAMINE READILY ACCESSIBLE COMPONENTS installed on their interiors. Use of tools to remove dead front covers is specifically excluded when dead front covers or their fasteners are painted or otherwise sealed into place and/or when they cannot be removed with a standard, non-power-assisted slot head or Phillips head screwdriver or hex head nut driver.

ROUTINE MAINTENANCE: Requiring minor, typical, and expected maintenance by a QUALIFIED individual. It is recommended that all ROUTINE MAINTENANCE conditions be addressed before additional wear and tear or deterioration occurs. After addressing ROUTINE MAINTENANCE conditions it is recommended that COMPONENTS associated with such conditions be periodically evaluated as part of an ongoing, prudent overall property and building SYSTEMS maintenance program. If desired, optional modification or upgrading of existing SYSTEMS or COMPONENTS may also be considered when such work is performed.

SYSTEM: A group of interacting, interrelated, or interdependent COMPONENTS historically and conventionally designed and intended to perform one or more specific functions. With regard to this definition, SYSTEM means and refers only to a PERMANENT SYSTEM.

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¹Potential costs which may be associated with additional examination of any ADVERSE CONDITION or with any modifications or corrective measures which may be deemed necessary to address an ADVERSE CONDITION are not factors and are not considered in the decision to indicate ACTION RECOMMENDED for any ADVERSE CONDITION documented in the report.

² When inspection of any SYSTEM or COMPONENT is documented as limited or as NOT EXAMINED due to being INOPERABLE, INACCESSIBLE, or for any other reason, it shall be understood that the presence of adverse conditions affecting the SYSTEM or COMPONENT cannot be determined. Therefore, it is recommended that additional measures be taken to evaluate and to assess the condition of such SYSTEMS or COMPONENTS as soon as possible.

³Specifically excluded are “ON-OFF” handles on non-GFCI and AFCI type circuit breakers, “bear claw/knife blade” type switches, any panel board service disconnection devices, and removal of fuses.

Frequently asked questions regarding home inspections:

What about...

moisture staining? When either moisture staining or efflorescence on walls, ceilings, floors, or other surfaces is noted, it shall be understood that it cannot always be determined whether the conditions contributing to the staining or efflorescence have been corrected or are still present. Therefore, it is recommended that additional measures be taken immediately to determine whether the cause of the staining has been corrected.

destructive examination? If additional examinations requiring destructive measures are desired, written permission from the property owner must be obtained prior to retaining the services of an appropriate qualified party to perform any such additional examinations.

systems or components which are inoperable or inaccessible? When inspection of any system or component is documented as limited or as not examined due to inoperability, inaccessibility, or for any other reason, it shall be understood that the presence of adverse conditions affecting the system, component, or area cannot be determined. Therefore, it is recommended that additional measures be taken to evaluate and to assess the condition of such systems or components as soon as possible.

systems and components which are excluded in the scope of the inspection? Information regarding such systems or components may be available through various governmental departments or agencies or through appropriate qualified companies, contractors, or service technicians.

de-energized systems? Inspectors will not light standing pilots, activate the main water, gas, or electrical controls, energize electrical circuits which are shut off or out of service, or operate any controls other than normal operating controls which are intended by design and manufacture to be used by homeowners or occupants in the normal and regular day-to-day operation of the home.

geological stability or condition of the site? For information regarding geological stability or site conditions, a geotechnical/soils engineer should be consulted.

structural stability or engineering analysis? Analysis of the structure, foundation, retaining walls, and sea walls for sustaining capacity, soundness, and adequacy as well as analysis of seismic, shear, and design calculations should be obtained from a registered structural engineer. All professional engineering work should be stamped by the Professional Engineer performing the work and should bear the registration number and signature of that Professional Engineer.

building value or appraisal? Consult a real estate professional or appraisal professional for this information.

cost estimates? It is recommended that multiple separate estimates be obtained from qualified parties for all repairs, modifications, or corrective measures.

detached buildings? Unless otherwise contractually specified, detached structures including, but not limited to, pool houses, cabañas, cottages, well houses, sheds, gazebos, and agricultural structures are not included but may be inspected upon request by mutual written agreement and for an additional fee.

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duplex and other multi-family units? These types of residential buildings typically have multiple kitchens and often have multiple, separate heating, electrical, plumbing, and other systems which require additional time to inspect. Therefore, a different fee structure applies to the inspection of such buildings.

public records? Legality of property and its present use; conditions of title, boundaries and easements; compliance with local codes, ordinances or regulations and location in earthquake, flood, mining, or any other hazard zones are not addressed in a home inspection and may be able to be obtained from the appropriate governmental agencies or public records and documents.

permits and zoning? Neither the inspector nor the Company is responsible for determining if any permits were required or obtained for any work performed on the subject property. Consult the appropriate jurisdictional building and/or land use department for information pertaining to permits and zoning. For information regarding geological stability or site conditions, a geo-technical/soils engineer should be consulted.

*Inspection Connection LC **will not** return to any property which we have previously inspected for the purpose of re-inspection to verify that any adverse conditions documented in the course of the original inspection have been modified or corrected or that any remedial measures have been performed*

Color digital photographs are included in this report. ***The photographs are not a complete record of the inspection and are included as illustrative examples only.***

In Attendance (additional to Inspector): Clients, Customer's Realtor, Termite Inspector, Contractor, Inspector Trainee	Approximate age of building: 1996	Approximate conditioned floor area (primary structure): 2500-3000
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Front Faces: South	Type of building: Single Family (1 story)	Temperature: 70-80
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Weather: Clear	Radon Test: Not tested
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1. Structural Components

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for thermal loss, moisture-related and /or other damage to and accelerated deterioration of roof covering materials, roof decking, roof structural members, thermal insulation, attic COMPONENTS, foundation COMPONENTS, STRUCTURAL wall COMPONENTS and other exterior and interior COMPONENTS as well as for personal injury.

Styles & Materials

Predominant Roof-Types:

Low Slope

Roof Structure:

NOT READILY ACCESSIBLE

Ceiling Structure:

NOT READILY ACCESSIBLE

Method used to observe primary attic:

NOT READILY ACCESSIBLE

Predominant Exterior Wall Structure:

Wood Frame
Traditional Adobe

Predominant Floor Structure:

Poured concrete

Foundation:

Below Grade - NOT READILY ACCESSIBLE

Items

1.0 SLABS, FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: INFORMATIONAL ONLY

The stucco siding extends to the soil or concrete exterior sidewalk on some of the exterior walls. This limits the EXAMINATION of the foundation and slab since the edge is hidden under the stucco coating.

1.1 FLOORS (Structural)

Comments: NOT EXAMINED

Floor coverings hide the concrete slab structural surfaces at the interior and floor structure was NOT EXAMINED.

1.2 WALLS (Structural)

Comments: INSPECTED

1.3 ATTIC ACCESS

Comments: NOT EXAMINED

There is no visible access and the home's Primary Attic and the SYSTEM'S and COMPONENTS within the attic space were NOT INSPECTED.

1.4 ROOF STRUCTURE

Comments: NOT EXAMINED

The roof structure for the main portions of the home was not READILY ACCESSIBLE and was NOT EXAMINED.

1.5 CEILINGS (Structural)

Comments: NOT EXAMINED

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The ceiling structure of the home is not READILY ACCESSIBLE and was NOT EXAMINED.

2. Roof

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for moisture-related and/or other damage to and accelerated deterioration of the roof system COMPONENTS including roof coverings, roof decking, roof structural members, thermal insulation, damage and/or accelerated deterioration of other exterior and interior COMPONENTS and for personal injury.

Styles & Materials

Predominant Roof Design and or Type: Low Slope	Primary Roof Covering(s): Ceramic/Clay Tiles Concrete Tile Reflective Elastomeric Coated Cap Sheet surface	Roof SYSTEMS and COMPONENTS were EVALUATED by: Ladder access and walking on the
Parapet Walls: Stucco Coated Adobe Stucco Covered - Wood Frame	Sky Light(s): Domed Plastic Dual Glazed	Chimney Material (exterior): Masonry with Stucco Finish

Items

2.0 ROOF COVERING DESCRIPTION

Comments: INFORMATIONAL ONLY

The low pitch roof sections are covered by a torch down, mineral impregnated membrane cap sheet SYSTEM. A reflective elastomeric type coating has been applied to the surface of the roof cap sheet.

Concrete tile roofing serves the home (noted at the sun room patio roof). Concrete tile are one of the most durable roof coverings available but care should be taken when walking across these roofs since they are slick and they can crack under maintenance traffic. The primary moisture/water barrier material at a concrete tile roof is installed at the deck below the concrete tile and is NOT READILY ACCESSIBLE and is NOT EXAMINED as a part of this INSPECTION

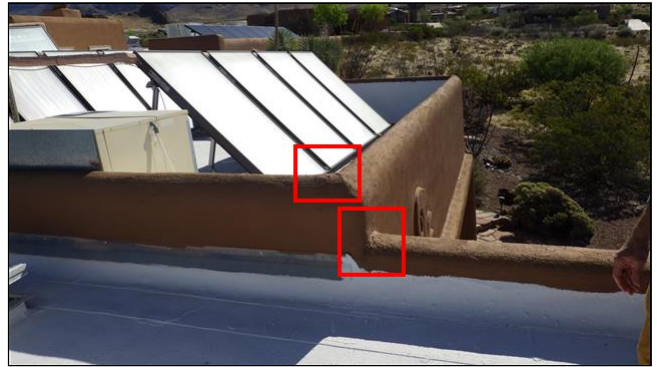
Fired clay tile roofing serves the home (noted at the west patio roof). Clay tile is a durable roof covering but care should be taken when walking across these roofs since they are slick and they can crack under maintenance traffic. The primary moisture/water barrier material at a tile roof is installed at the deck below the clay tile and is NOT READILY ACCESSIBLE and is NOT EXAMINED as a part of this INSPECTION

2.1 PARAPET WALLS

Comments: ACTION RECOMMENDED

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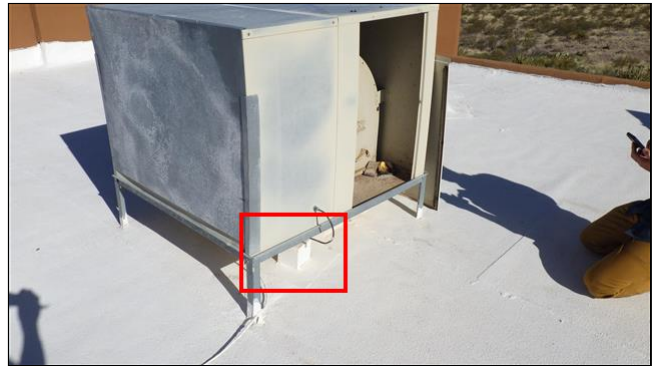
The stucco covered cap is cracked and or incomplete exposing underlying wall SYSTEM COMPONENTS (noted at limited corner areas). ACTION RECOMMENDED by a QUALIFIED stucco contractor.



2.2 UTILITY PENETRATIONS

Comments: ACTION RECOMMENDED

The tar pot penetrations are gapped and or cracking (noted below the east evaporative cooler). ACTION RECOMMENDED by a QUALIFIED roofing contractor.

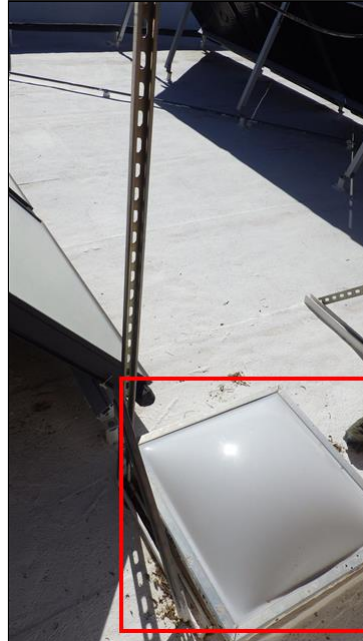


2.3 SKYLIGHTS

Comments: ACTION RECOMMENDED

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Exterior plastic lens of dual glazed skylights are fractured (noted near the solar water heating panels and above the kitchen). ACTION RECOMMENDED by a QUALIFIED roofing contractor.



2.4 CHIMNEYS

Comments: INSPECTED

2.5 ROOF COVERING (Membrane Type)

Comments: ACTION RECOMMENDED

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The cap sheet roof surface and elastomeric coating includes areas with exposed seams, cracking and or blistering on the surfaces (noted at the roof elevation change between the garage and laundry area, at collection areas adjacent to scuppers along the front roof area and at the tan coated section next to the walk up deck). Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED roofing contractor.

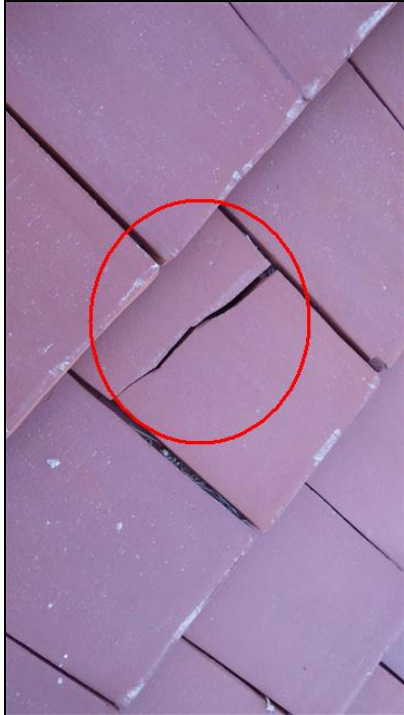




2.6 ROOF COVERING (Tile)

Comments: ACTION RECOMMENDED

Tiles or mortar are cracked and or loose (noted at limited areas on the clay tile patio roof). ACTION RECOMMENDED by a QUALIFIED roofing contractor.



3. Exterior

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for for wetting of soils adjacent to and beneath foundation components, for moisture-related and/or other foundation and structural damage, damage to and/or accelerated deterioration of other exterior and interior COMPONENTS, as well as for personal injury.

Styles & Materials

Primary Exterior Wall Cladding/

Coverings:

Acrylic/Elastomeric Stucco

Exterior Entry Doors:

Metal clad wood frame

Wood

Attached and Adjacent Structures:

Patio

Driveway / Parking:

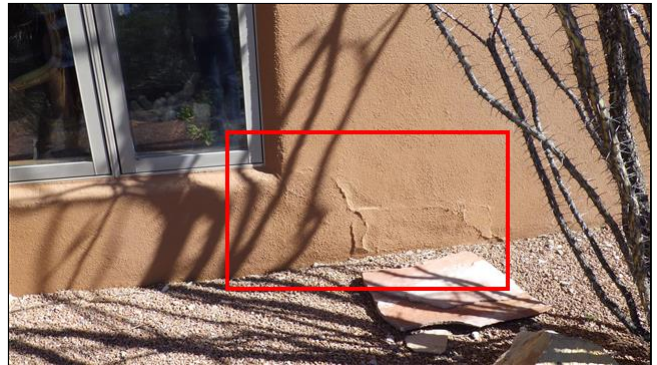
Gravel

Items

3.0 WALL CLADDING (Stucco Type)

Comments: ACTION RECOMMENDED

There are cracks in the stucco at corners, control joints and or adjacent to windows and doors. All stucco covered wall areas should have further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED stucco contractor.





3.1 DOORS (Exterior)

Comments: INSPECTED

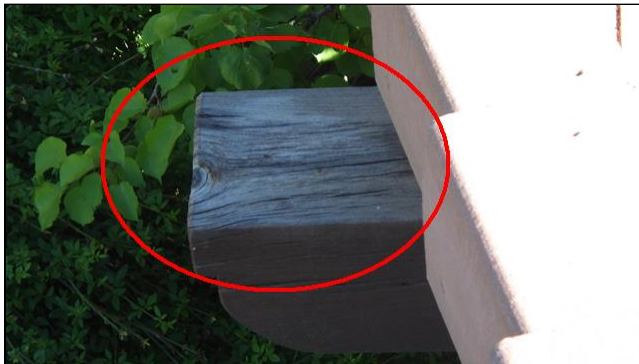
3.2 PORCH & PATIO CEILINGS

Comments: INSPECTED

3.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER, AND RAILINGS

Comments: ACTION RECOMMENDED

(1) Weathered wood surfaces at posts and beams (noted at exposed wood areas for each patio) should be serviced to be sealed and or moisture protected. ACTION RECOMMENDED by a QUALIFIED painter



(2) Rails and or balusters at stairs, balconies and or decks have IMPROPER wide spacing and can allow a small child to pass through (noted at the spiral stair set).

Metal stair set COMPONENTS are rusted out and or damaged (noted at a number of baluster/ stiles on the spiral stair set).

ACTION RECOMMENDED by a QUALIFIED metal fabricator.



3.4 GRADING and DRAINAGE

Comments: INFORMATIONAL ONLY

Drainage on this property is solely dependant on soil-percolation and hard surface slopes.

4. Garages, Overhead Doors, Utility and Storage Areas

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for damage to garage COMPONENTS, compromising the effectiveness of protective features of automatic garage vehicle door operator equipment, of separation assemblies between the garage and interior living spaces, as well as for personal injury.

Styles & Materials

Structure Type:

Two Car Attached

Garage Door Type:

Two car automatic

Garage Door Material:

Metal

Items

4.0 GARAGE and or DETACHED UTILITY STRUCTURE GENERAL INFORMATION

Comments: INFORMATIONAL ONLY

Vehicles and or stored items limited the evaluation of the walls, doors, windows, electric receptacles and floor within the garage.

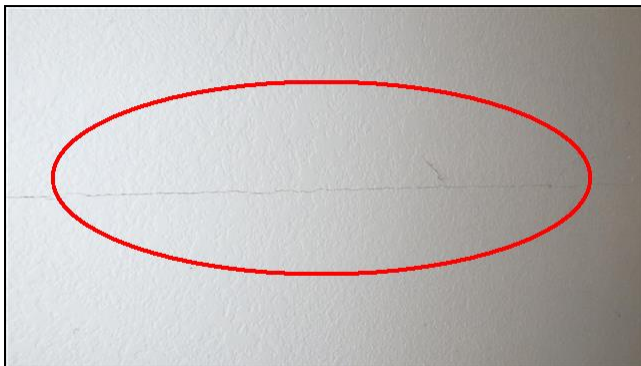
4.1 CEILINGS

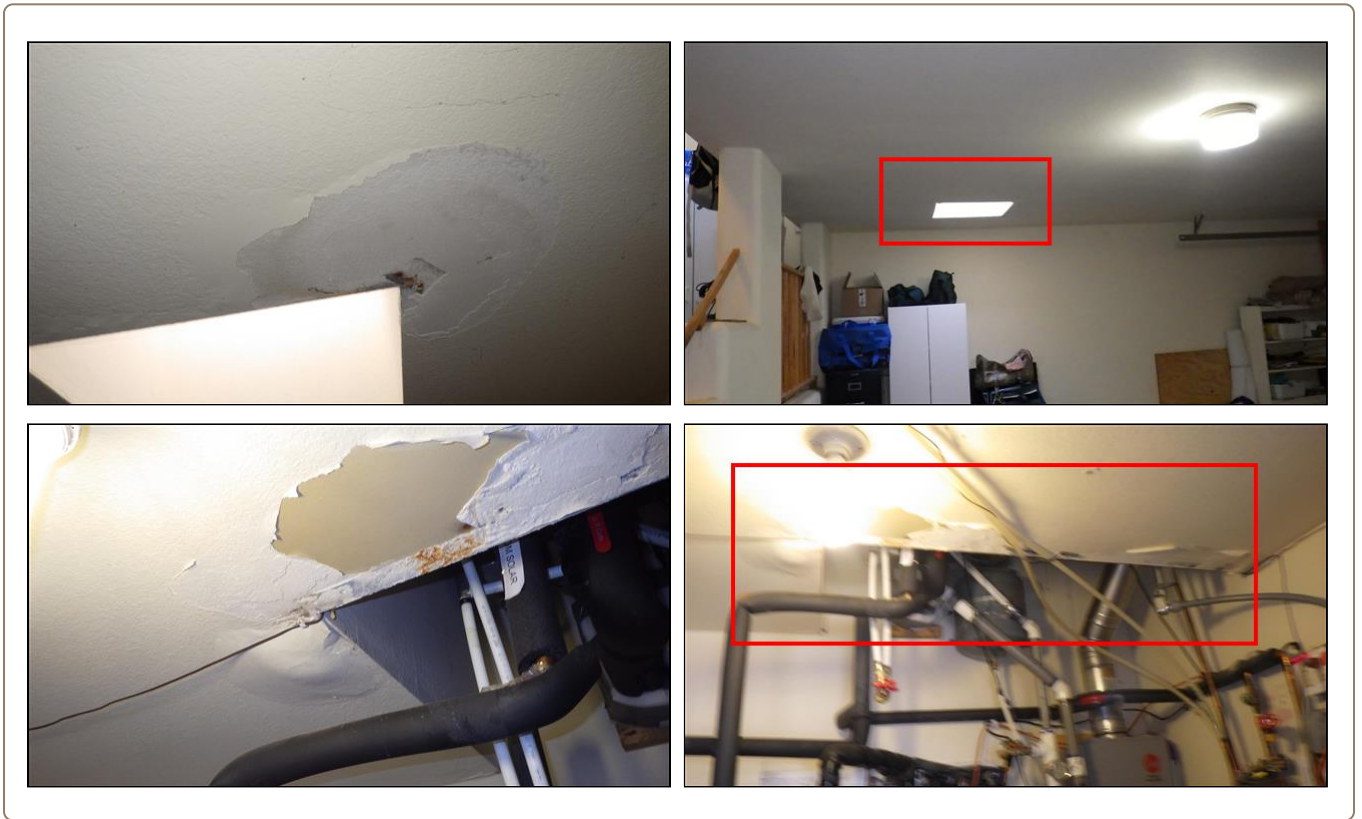
Comments: ACTION RECOMMENDED

There are drywall cracks along tape lines in the ceiling.

There is evidence of moisture penetration at the ceiling in the form of visible stained, distorted drywall, texture and or paint (noted at the skylight well and above the solar water heating equipment). Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED roofing contractor.

After any required roof service is complete, drywall and paint ACTION RECOMMENDED by a QUALIFIED drywall and painting technician.





4.2 WALLS

Comments: ACTION RECOMMENDED

Penetrations and or damage to textured drywall surfaces consistent with those caused by impact from objects and or trades (noted at the garage knee wall near the sunroom). ACTION RECOMMENDED by a QUALIFIED drywall technician.



4.3 OCCUPANT DOOR FROM GARAGE TO INSIDE HOME

Comments: INSPECTED

4.4 GARAGE OVERHEAD DOOR (S)

Comments: INSPECTED

4.5 GARAGE DOOR OPERATORS

Comments: INSPECTED

5. Insulation and Ventilation

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential thermal loss, for overheating of and/or damage to Ventilation system COMPONENTS, moisture damage, other exterior and interior COMPONENTS, as well as for personal injury.

Styles & Materials

Exhaust Fans:

Yes

Dryer Power Source:

220 Electric

Attic/Ceiling Insulation:

Not READILY ACCESSIBLE

Floor System Insulation:

Not READILY ACCESSIBLE

Wall Insulation:

Not READILY ACCESSIBLE

Items

5.0 KITCHEN, BATH AND LAUNDRY VENTILATION FANS

Comments: INSPECTED

5.1 DRYER VENTILATION

Comments: ROUTINE MAINTENANCE

The dryer vents vertically up through the roof. Blockages are common with this type of vent arrangement and the vent should be cleaned and cleared to the roof opening. ROUTINE MAINTENANCE should be provided by a QUALIFIED appliance technician.

5.2 INSULATION IN ATTIC AND OR ON CEILING

Comments: NOT EXAMINED

Attic insulation was not READILY ACCESSIBLE and was NOT EXAMINED.

5.3 INSULATION IN WALLS

Comments: NOT EXAMINED

5.4 INSULATION AT FLOOR SYSTEM

Comments: NOT EXAMINED

6. Electrical

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for electric shock, electrocution, overheating of electrical system COMPONENTS, fire, and damage to and/or accelerated deterioration of electrical COMPONENTS and other exterior and interior COMPONENTS as well as for personal injury.

Styles & Materials

Electrical Service Conductors: Below ground	Approximate Electric Service Rating: 150 AMP - 220/110 volt (nominal)	Panel Type: Circuit breakers
Service Conductor Type: Aluminum - Stranded	Main Service Switch and Panelboard Locations: Garage Interior Wall Yard pedestal	Visible 120 Volt (nominal) Branch Conductor Types: Copper
Visible 220 Volt (nominal) Branch Conductor Types: Copper Aluminum (Stranded)	110 Volt Branch Circuit Wiring Methods: Romex type (non-metallic insulated copper)	Ground Fault Circuit Interrupted devices: Installed at exterior, garage, kitchen and bath area receptacles

Items

6.0 ELECTRICAL SYSTEM GENERAL INFORMATION

Comments: INFORMATIONAL ONLY

A photo-voltaic solar electric power panel generation SYSTEM is installed at the roof of the home (11 panels each with approximately 327 watts peak capacity each). The READILY ACCESSIBLE electrical connections and the physical panel and rack SYSTEM was evaluated. We do not take measurements or perform any analysis to determine electric power generation at each panel or to verify SYSTEM efficiency.

This utility grid connected SYSTEM is designed to generate and send electricity to the providers electric utility during daylight hours. The power runs from your solar array through a DC safety disconnect to an inverter, usually located on an outside building wall (the inverters on your SYSTEM are located on the interior garage wall). The inverter converts DC (direct current) power generated by the solar array to clean AC (alternating current) power that synchronizes with the voltage of your home.

The output of your solar system runs through an AC safety disconnect and a solar REC (Renewable Energy Credit) meter that tracks the solar production. The REC or revenue meter tracks the power produced by your solar power system before it reaches the breaker panel, meaning that you are credited for your clean power generation whether you use it in your facility or send it into the utility lines. From the REC meter, the output enters a service panel where it then flows to serve your loads.

Any excess energy generated flows into the utility grid, spinning your standard revenue meter backward as a credit for future use. This is called net metering. The revenue meter tracks the net amount you pull from the grid. You earn retail rates for the amount of solar production that offsets your consumption.

Inspection Connection LC

When your solar system generates less electricity (due to cloudy days, evenings or excess use), your utility company supplies you with the rest. The regular utility meter tracks the net power supplied by the grid. The typical utility-tied system is battery-less and maintenance free.

If there is a power outage during the day the solar system automatically shuts down, meaning that even if the sun is shining you will not have power during an outage. This is because your PV system feeds into the same breaker panel that is served by utility power. In order to prevent your solar energy from back feeding into the grid and injuring a utility line worker, your inverter must instantly shut down. Once utility power is restored, the inverter checks for steady power and reconnects after five minutes.

In order to generate power from the installed photo-voltaic electric SYSTEM, owners or occupants of the home will need to complete a net metering service agreement with the electric service provider. In our area contact El Paso Electric at 1-800-351-1621 extension: 4418.

You can find more information at the El Paso Electric Net Metering web page: <http://www.epelectric.com/tx/business/interconnection-of-facilities-less-than-20-kw>

6.1 SERVICE ENTRANCE CONDUCTORS

Comments: NOT EXAMINED

The main conductor lines are underground, or part of a lateral service entrance. This is characteristic of modern electrical services but, since the service lines are underground and cannot be seen, they are NOT EXAMINED as part of our service.

6.2 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: INFORMATIONAL ONLY

The main distribution panel box is located at the interior garage wall.

6.3 PANEL COVERS AND ACCESS

Comments: ACTION RECOMMENDED

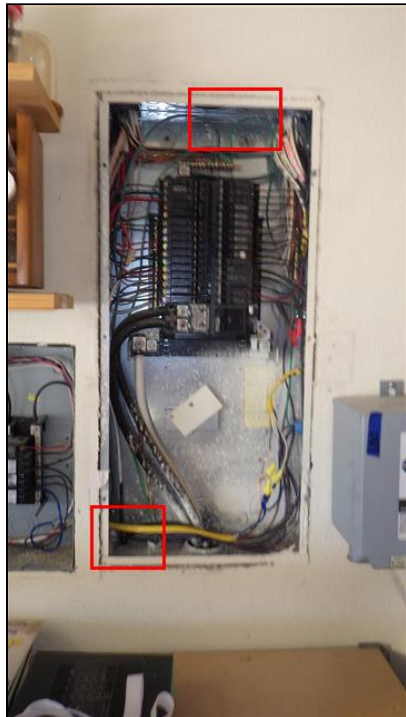
Inspection Connection LC

Service access is limited or restricted at a panel (noted at the main distribution panel above the garage work bench). Distribution panels with restricted access should be serviced to meet GENERALLY ESTABLISHED PRACTICES for service access. Electric service panels typically require a minimum of three feet of clear space to the floor directly in front of the panel to access COMPONENTS.

Breaker panel enclosures have voids or open knockouts that can allow access to energized COMPONENTS by pests (noted at the main garage wall distribution panel).

Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED electrician.





6.4 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: INSPECTED

6.5 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of LIGHTING FIXTURES)

Comments: INSPECTED

6.6 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of CEILING FANS located inside the house, garage, and on the dwelling's exterior)

Comments: ACTION RECOMMENDED

A fan is loose and or out of balance and should be serviced to be secure and run with limited motion (noted in the sunroom).

A ceiling fan is damaged (noted warped blades at the sunroom unit) and should be serviced for repair or replacement.

ACTION RECOMMENDED by a QUALIFIED electrician.



6.7 CONNECTED DEVICES AND FIXTURES (Observed from a representative number of RECEPTACLES)

Comments: ACTION RECOMMENDED

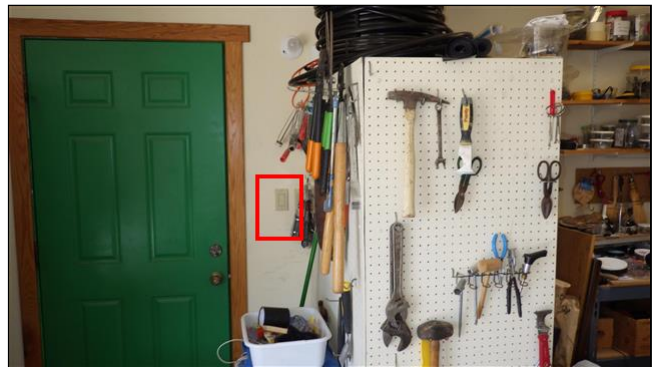
Inspection Connection LC

110 volt receptacle and switch plate covers are cracked, broken and or incomplete (noted under the kitchen sink and at the jet tub motor).

110 volt receptacles are loose at wall attachments (noted at the back wall outside the master suite).

A 110 volt receptacle face is cracked (noted at the right of the sunroom door on the garage wall).

ACTION RECOMMENDED by a **QUALIFIED** electrician.

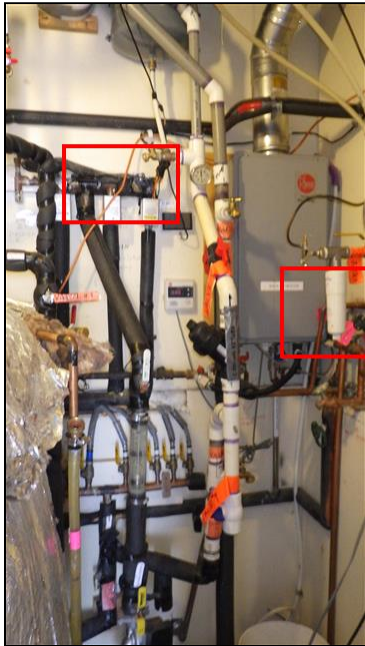
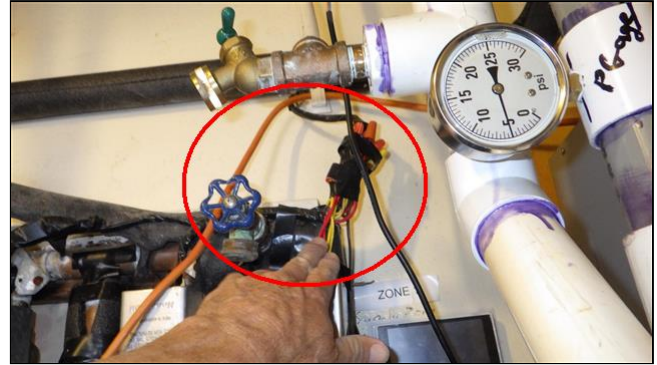


6.8 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of MISCELLANEOUS DEVICES)

Comments: ACTION RECOMMENDED

Inspection Connection LC

110 volt wiring and connections are not covered or secured at pump and solenoid valve connections (noted at the solar equipment closet). ACTION RECOMMENDED by a QUALIFIED electrician.



6.9 POLARITY AND GROUNDING OF 110 VOLT (NOMINAL) RECEPTACLES

Comments: INSPECTED

6.10 GFCI (GROUND FAULT CIRCUIT INTERRUPTED) RECEPTACLES AND BREAKERS

Comments: ACTION RECOMMENDED

GFCI type outlets will not trip to protect the circuit (noted at the back house wall). ACTION RECOMMENDED by a QUALIFIED electrician.



6.11 SMOKE DETECTORS

Comments: NOT EXAMINED

Inspection Connection LC

Smoke detectors are located in each bedroom, but should be checked periodically. Smoke detectors are important safety features but testing of these units is not in the scope of this inspection.

7. Plumbing

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for moisture damage, waste leaks, the introduction of sewer gas and/or water heating system combustion by-products into the interior environment, for damage to and/or accelerated deterioration of plumbing COMPONENTS and other exterior and interior COMPONENTS, as well as for personal injury.

Styles & Materials

Primary Water Source: Well	Plumbing Water Distribution (visible sections): Copper	Plumbing Waste Piping (visible sections): Plastic - PVC
Water Heater Location: Garage	Water Heater Power Source: Propane Solar Thermal	Water Heater Capacity: Tankless
Water Heater Age(s): 2011		

Items

7.0 MAIN WATER SHUT-OFF DEVICE

Comments: INFORMATIONAL ONLY

The main water supply shut off is located at the well equipment area.

7.1 PRIVATE WELL WATER SUPPLY

Comments: ACTION RECOMMENDED

Functional flow was observed at each fixture group with at least three water sources (or the maximum available) in operation in each group unless otherwise noted in detail areas of the report. Minor changes in flow or pressure are normal as other fixtures are operated.

The potable water supply is private, provided by a well whose evaluation is beyond the scope of this report and which was NOT EXAMINED. Local and regional standards of acceptable flow and water quality vary greatly and the domestic well SYSTEM and associated COMPONENTS should be INSPECTED by a QUALIFIED water well specialist.

7.2 IRRIGATION SYSTEM

Comments: NOT EXAMINED

Landscape irrigation SYSTEM piping and controls are installed but a complete evaluation is beyond the scope of our services and irrigation COMPONENTS were NOT EXAMINED.

7.3 FUNCTIONAL DRAINAGE

Comments: INFORMATIONAL ONLY

Based on industry test methods, functional drainage was observed in all bathrooms and the kitchen areas unless noted in the section report detail. The drain piping under the home and the sewer main from the home to the septic SYSTM is NOT READILY ACCESSIBLE and was NOT EXAMINED. Only service by a

Inspection Connection LC

QUALIFIED professional with a sewer scope type camera SYSTEM can determine the type and condition of the drain waste and sewer piping in these areas.

7.4 PRIVATE WASTE DISPOSAL

Comments: ACTION RECOMMENDED

This property is served by a private waste system whose evaluation is beyond the scope of this inspection but that should be INSPECTED. ACTION RECOMMENDED by a QUALIFIED septic SYSTEM inspection service.

7.5 FAUCETS AND SINKS

Comments: ACTION RECOMMENDED

Faucet levers are loose at the attachments (noted at the right side master suite sink).

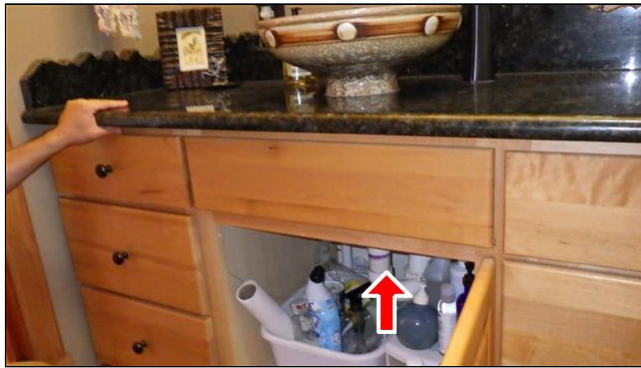
There is a leak at a drain connection below a sink (noted at the hall bathroom).

A faucet leaks around the base above the sink (noted at the sunroom bathroom sink).

IMPROPER flexible type drain piping installed at sink drains (noted at each master suite sink). Flexible piping should be serviced to meet GENERALLY ESTABLISHED PRACTICES which will typically require installation of smooth wall pipes that drain reliably.

ACTION RECOMMENDED by a QUALIFIED plumber.





7.6 TUBS AND SHOWERS

Comments: ACTION RECOMMENDED

(1) Shower head flow is limited consistent with blockage by sediment (noted at the sunroom bathroom).

Tub control valves are loose in the wall and or at attachments (noted at the jet tub).

ACTION RECOMMENDED by a QUALIFIED plumber.



(2) There are separated and or open grout-joints in the tiled stall showers. ACTION RECOMMENDED by a QUALIFIED tile installation contractor.



7.7 TOILETS

Comments: ACTION RECOMMENDED

Inspection Connection LC

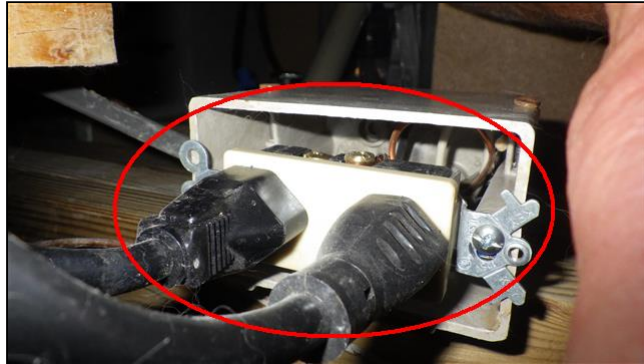
A toilet is loose at its bolted attachment to the floor and should be serviced to be secure and leak free (noted at the sunroom bathroom). ACTION RECOMMENDED by a QUALIFIED plumber.



7.8 JET TUB MOTOR AND PIPING

Comments: ACTION RECOMMENDED

The jet tub pump motor electric receptacle is not Ground Fault Circuit Interrupter protected by a READILY ACCESSIBLE GFCI breaker or receptacle. ACTION RECOMMENDED by a QUALIFIED electrician.



7.9 HOT WATER HEATER INFORMATION

Comments: ACTION RECOMMENDED

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A continuous heating, tankless type water heater/ boiler serves the home. Tankless water heaters are more energy efficient than most storage tank type units. You should review manufacturers recommended maintenance materials for the unit since some require routine flushes or service to limit mineral buildup and to extend service life.

A flat plate solar water heating collection and storage SYSTEM is installed in the home (noted at the garage roof area). COMPONENTS controls and designs of solar thermal water heating SYSTEMS vary greatly. The solar water heating SYSTEM provided hot water at the time of the inspection. You should ask the sellers to provide a comprehensive owners instruction and maintenance documentation set. If this documentation is not available the SYSTEM should be EXAMINED by a QUALIFIED solar thermal installation contractor who can explain the correct use and maintenance and provide a comprehensive set of home owner instruction and maintenance documents.

7.10 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: ACTION RECOMMENDED

IMPROPER reduction of the Temperature and Pressure Relief drain line was noted at the water heater/boiler connection to the TPR valve. Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED plumbing contractor.



7.11 HOT WATER RECIRCULATION

Comments: INFORMATIONAL ONLY

A recirculating hot water SYSTEM is installed to provide quick hot water convenience at the master suite fixture group. The recirculating pump is controlled by a reo-stat below the master suite sink.

7.12 MAIN FUEL SHUT OFF

Comments: INFORMATIONAL ONLY

Inspection Connection LC

The main fuel shut off is at propane tank outside.

7.13 FUEL STORAGE AND DISTRIBUTION

Comments: ACTION RECOMMENDED

The property is serviced by a propane gas storage and supply SYSTEM. Area propane service providers and local, state and national regulatory organizations enforce specific rules on the positioning, maintenance and service of propane storage vessels and a complete evaluation of the propane tank installation is beyond the scope of this inspection. The propane supply and storage SYSTEM should be EXAMINED by your chosen propane gas supplier to insure that the property can be serviced.



8. Heating, Ventilation and Air Conditioning

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for compromising the effectiveness of protective features, overheating, damage and/or deterioration of HVAC system COMPONENTS, the introduction of HVAC system combustion by-products into the interior environment, overheating of and/or damage to A/C system COMPONENTS, moisture damage, loss of system refrigerant, for damage to and/or accelerated deterioration of A/C and evaporative cooling COMPONENTS, for damage to and/or accelerated deterioration of other exterior and interior COMPONENTS, as well as for personal injury.

Styles & Materials

Central Heating Equipment Type: Radiant Floor	Heating Equipment Location: Garage roof deck	Heat Fuel/Energy Source: Propane Solar Thermal
In Floor Heating: Recirculated Liquid	Cooling Equipment Type: Evaporative Cooler - Single Inlet (Master Cool type) In floor/slab chilled water Air to water heat pump	Cooling Equipment Location: Roof Deck In floor/slab
Refrigerated Equipment Capacity (approximate): 2.5 ton	Central Air Manufacturer: CHILTRIX	Ductwork: Within Attic
Types of Fireplaces: Traditional Wood Burning	Fireplace Flue Construction: Mortared Clay Tile	

Items

8.0 HEATING EQUIPMENT

Comments: NOT EXAMINED

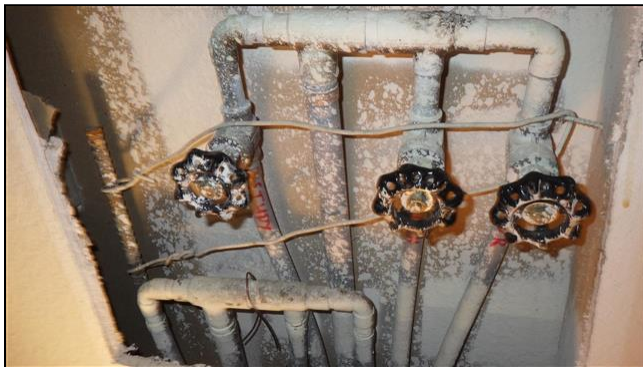
The in floor/slab radiant heating SYSTEM was valved off for summer cooling at the shared recirculation loop SYSTEM and was NOT EXAMINED using the NORMAL OPERATING CONTROLS. The SYSTEM should be EXAMINED and demonstrated as operable prior to the winter heating season by a QUALIFIED HVAC contractor.

8.1 IN FLOOR HEATING

Comments: ACTION RECOMMENDED

Inspection Connection LC

The in floor/slab recirculation piping installed is a plastic poly-butylene (PB) material (visible at the solar equipment closet and at the master bedroom closet valve manifolds). This piping material and it's fittings have a history of failure in residential potable water distribution applications. Additionally, PB piping has no oxygen barrier, and this can lead to corrosion of metal surfaces in pumps, boilers and valves for in-floor recirculated SYSTEMS. This PB piping installation and radiant heating/cooling SYSTEM should have further EXAMINATION by a QUALIFIED radiant floor installation and service contractor. Any service required after their INSPECTION should be completed by a QUALIFIED contractor.



8.2 DUCTWORK

Comments: NOT EXAMINED

Ductwork was not READILY ACCESSIBLE and was NOT EXAMINED during our inspection of the home.

8.3 EVAPORATIVE COOLING SYSTEM

Comments: ROUTINE MAINTENANCE

In our area of the southwest these units provide comfortable cooling when prevailing low humidity conditions exist. Evaporative coolers are energy efficient and reliable but must be maintained and winterized by a QUALIFIED home maintenance technician to prevent damage and insure proper operation.

The evaporative cooler systems dampers and water side components were winterized and the units were NOT INSPECTED using NORMAL OPERATING CONTROLS during the inspection. The units should be serviced and demonstrated by a QUALIFIED home maintenance technician before put into service for summer cooling.

8.4 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: ROUTINE MAINTENANCE

Inspection Connection LC

Typical accumulation of soot and creosote deposits at the fireplace flue and firebox were noted. ROUTINE MAINTENANCE should be provided by a QUALIFIED chimney sweep or fireplace technician.



9. Kitchen and Built-In Appliances

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for compromising protective features and for damage to and/or accelerated deterioration of kitchen COMPONENTS, other exterior and interior COMPONENTS as well as for personal injury.

Styles & Materials

Range/Oven Fuel:

Electric

Cook Top Fuel:

Electric Induction

Exhaust/Range hood:

VENTED

Items

9.0 RANGE

Comments: INSPECTED

9.1 RANGE VENTILATION

Comments: INSPECTED

9.2 DISHWASHER(s)

Comments: INSPECTED

The dishwasher completed a cycle when activated at the NORMAL OPERATING CONTROLS.

9.3 FOOD WASTE DISPOSER(s)

Comments: INSPECTED

10. Interiors

It is important that appropriate QUALIFIED individuals address conditions for which ACTION RECOMMENDED is indicated in this section as soon as possible in order to reduce the potential for damage to and/or accelerated deterioration of interior features as well other exterior and interior COMPONENTS as well as for personal injury.

Styles & Materials

Ceiling Materials:

Painted and Textured Gypsum Board
Tongue & Groove Plank

Wall Material:

Painted and Textured Gypsum Board
Plaster covered adobe block

Floor Covering(s):

Tile

Interior Doors:

Wood

Window Types:

Inert Gas Filled - Dual Pane
Casement
Fixed Pane

Window Frame Material:

Wood Framed / Metal Clad

Cabinetry:

Wood

Countertop:

Granite

Items

10.0 GENERAL INTERIOR

Comments: INFORMATIONAL ONLY

The home was occupied and or at least partially furnished at the time of the inspection. Furnishings, artwork, personal and stored items limited the evaluation of the walls, windows, 110 volt receptacles and floors at the inside rooms of the home.

10.1 WINDOWS

Comments: ACTION RECOMMENDED

Inspection Connection LC

Operable type windows are bound or wedged shut (noted at a number of areas in the home).

Evidence consistent with leaks at window frames and or frame perimeters (noted water stain at a number of interior wood window frames) should be serviced to be re-sealed at the exterior.

Insect screens are missing at a number of windows.

Each window in the home should have further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED window repair contractor.





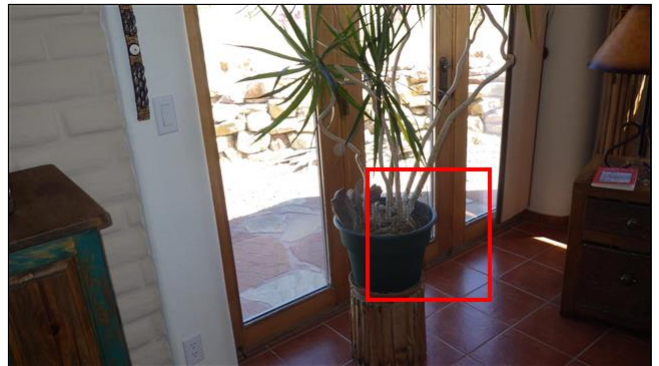
10.2 DOORS

Comments: ACTION RECOMMENDED

A door to the exterior rubs and or does not open or close reliably (noted at the master suite to yard door).
Doors that do not open smoothly or reliably should be serviced.

Pocket doors interfere and or rub at the wall jamb opening (noted at the laundry room).

Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED carpenter.

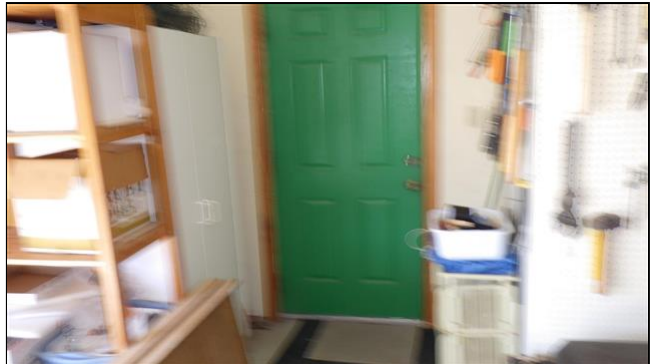




10.3 DOOR HARDWARE

Comments: ACTION RECOMMENDED

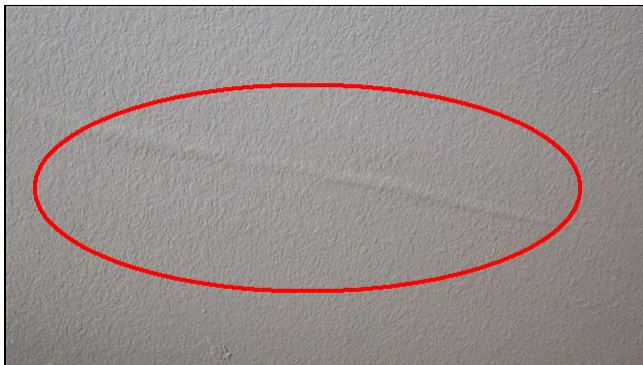
Latches do not reliably secure exterior doors (noted at the garage to sunroom door). ACTION RECOMMENDED by a QUALIFIED carpenter.



10.4 CEILINGS

Comments: ACTION RECOMMENDED

(1) There is moisture impact to the ceiling in the form of stains and or distorted drywall finish consistent with movement of water through the roof deck from precipitation (noted at the back guest bedroom). These areas should be documented as stabilized by known repairs from a QUALIFIED technician or the roof SYSTEM should be serviced by a QUALIFIED roofing contractor. After leakage issues are stabilized, damaged drywall and paint should be serviced by a QUALIFIED drywall and painting technician.



Inspection Connection LC

(2) There is moisture impact to the ceiling in the form of stains and or distorted wood COMPONENTS consistent with movement of water movement through the roof deck from precipitation (noted at the sunroom bathroom). These areas should be documented as stabilized by known repairs from a QUALIFIED technician or the roof SYSTEM should be serviced by a QUALIFIED roofing contractor.



10.5 WALLS

Comments: INSPECTED

10.6 TRIM, COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: INSPECTED

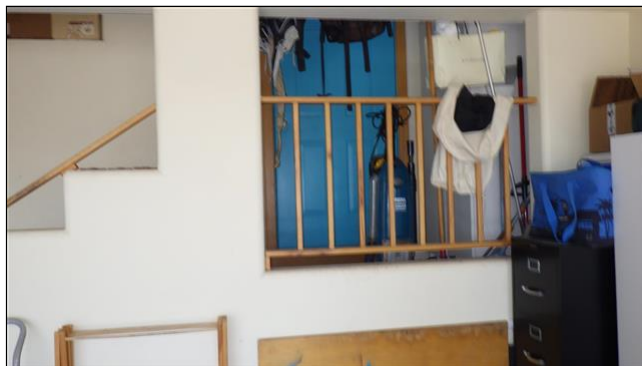
10.7 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: ACTION RECOMMENDED

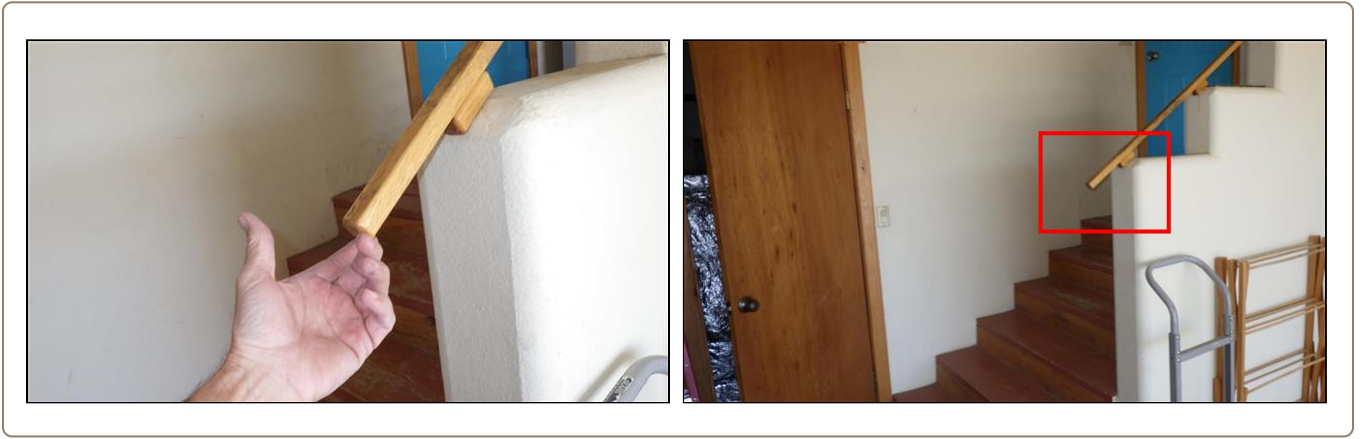
Balusters at balconies or stairs are wider than 4" apart and may allow a small child to pass through (noted at the garage). Balusters with wide spacing should be serviced by a QUALIFIED carpenter or contractor to meet GENERALLY ESTABLISHED PRACTICES and to limit risk of pass through by a child.

Handrails at stairs do not return to the wall (noted at the garage). Rail ends gapped from the wall should be serviced to limit risk of hang ups on clothing and or purse straps.

ACTION RECOMMENDED by a QUALIFIED carpenter.



Inspection Connection LC



General Summary

Inspection Connection LC

PO Box 1112
Fairacres, NM 88033
575-202-2457
www.ICEnergyRate.com

Customer
New Mexico
Homebuyer

Address
1234 Camino
Las Cruces NM 88001

This Summary Report will provide you with a preview of the components or conditions determined as having "ACTION RECOMMENDED" advised. The Summary Report is not comprehensive (Please see "Summary Use Information" section of this Inspection Report). Important detailed Information, ELECTIVE MODIFICATIONS and ROUTINE MAINTENANCE recommendations regarding the COMPONENTS and SYSTEMS are included in the body of the main report.

All service work performed based on the recommendations in this report should be performed by QUALIFIED TECHNICIANS with the expertise to complete the noted service or repairs in a workmanlike manner and in compliance with accepted industry standards. When a QUALIFIED TECHNICIAN or other Professional prescribes service beyond the deficiencies noted in this report as a result of their own specialized evaluation, we recommend that those corrections or modifications be completed at that time.

2. Roof

2.1 PARAPET WALLS

ACTION RECOMMENDED

The stucco covered cap is cracked and or incomplete exposing underlying wall SYSTEM COMPONENTS (noted at limited corner areas). ACTION RECOMMENDED by a QUALIFIED stucco contractor.

2.2 UTILITY PENETRATIONS

ACTION RECOMMENDED

The tar pot penetrations are gapped and or cracking (noted below the east evaporative cooler). ACTION RECOMMENDED by a QUALIFIED roofing contractor.

2.3 SKYLIGHTS

ACTION RECOMMENDED

Exterior plastic lens of dual glazed skylights are fractured (noted near the solar water heating panels and above the kitchen). ACTION RECOMMENDED by a QUALIFIED roofing contractor.

2.5 ROOF COVERING (Membrane Type)

ACTION RECOMMENDED

Inspection Connection LC

The cap sheet roof surface and elastomeric coating includes areas with exposed seams, cracking and or blistering on the surfaces (noted at the roof elevation change between the garage and laundry area, at collection areas adjacent to scuppers along the front roof area and at the tan coated section next to the walk up deck). Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED roofing contractor.

2.6 ROOF COVERING (Tile)

ACTION RECOMMENDED

Tiles or mortar are cracked and or loose (noted at limited areas on the clay tile patio roof). ACTION RECOMMENDED by a QUALIFIED roofing contractor.

3. Exterior

3.0 WALL CLADDING (Stucco Type)

ACTION RECOMMENDED

There are cracks in the stucco at corners, control joints and or adjacent to windows and doors. All stucco covered wall areas should have further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED stucco contractor.

3.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER, AND RAILINGS

ACTION RECOMMENDED

(1) Weathered wood surfaces at posts and beams (noted at exposed wood areas for each patio) should be serviced to be sealed and or moisture protected. ACTION RECOMMENDED by a QUALIFIED painter

(2) Rails and or balusters at stairs, balconies and or decks have IMPROPER wide spacing and can allow a small child to pass through (noted at the spiral stair set).

Metal stair set COMPONENTS are rusted out and or damaged (noted at a number of baluster/ stiles on the spiral stair set).

ACTION RECOMMENDED by a QUALIFIED metal fabricator.

4. Garages, Overhead Doors, Utility and Storage Areas

4.1 CEILINGS

ACTION RECOMMENDED

There are drywall cracks along tape lines in the ceiling.

There is evidence of moisture penetration at the ceiling in the form of visible stained, distorted drywall, texture and or paint (noted at the skylight well and above the solar water heating equipment). Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED roofing contractor.

After any required roof service is complete, drywall and paint ACTION RECOMMENDED by a QUALIFIED drywall and painting technician.

4.2 WALLS

ACTION RECOMMENDED

Penetrations and or damage to textured drywall surfaces consistent with those caused by impact from objects and or trades (noted at the garage knee wall near the sunroom). ACTION RECOMMENDED by a QUALIFIED drywall technician.

6. Electrical

6.3 PANEL COVERS AND ACCESS

Inspection Connection LC

ACTION RECOMMENDED

Service access is limited or restricted at a panel (noted at the main distribution panel above the garage work bench). Distribution panels with restricted access should be serviced to meet GENERALLY ESTABLISHED PRACTICES for service access. Electric service panels typically require a minimum of three feet of clear space to the floor directly in front of the panel to access COMPONENTS.

Breaker panel enclosures have voids or open knockouts that can allow access to energized COMPONENTS by pests (noted at the main garage wall distribution panel).

Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED electrician.

6.6 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of CEILING FANS located inside the house, garage, and on the dwelling's exterior)

ACTION RECOMMENDED

A fan is loose and or out of balance and should be serviced to be secure and run with limited motion (noted in the sunroom).

A ceiling fan is damaged (noted warped blades at the sunroom unit) and should be serviced for repair or replacement.

ACTION RECOMMENDED by a QUALIFIED electrician.

6.7 CONNECTED DEVICES AND FIXTURES (Observed from a representative number of RECEPTACLES)

ACTION RECOMMENDED

110 volt receptacle and switch plate covers are cracked, broken and or incomplete (noted under the kitchen sink and at the jet tub motor).

110 volt receptacles are loose at wall attachments (noted at the back wall outside the master suite).

A 110 volt receptacle face is cracked (noted at the right of the sunroom door on the garage wall).

ACTION RECOMMENDED by a QUALIFIED electrician.

6.8 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of MISCELLANEOUS DEVICES)

ACTION RECOMMENDED

110 volt wiring and connections are not covered or secured at pump and solenoid valve connections (noted at the solar equipment closet). ACTION RECOMMENDED by a QUALIFIED electrician.

6.10 GFCI (GROUND FAULT CIRCUIT INTERRUPTED) RECEPTACLES AND BREAKERS

ACTION RECOMMENDED

GFCI type outlets will not trip to protect the circuit (noted at the back house wall). ACTION RECOMMENDED by a QUALIFIED electrician.

7. Plumbing

7.1 PRIVATE WELL WATER SUPPLY

ACTION RECOMMENDED

Functional flow was observed at each fixture group with at least three water sources (or the maximum available) in operation in each group unless otherwise noted in detail areas of the report. Minor changes in flow or pressure are normal as other fixtures are operated.

The potable water supply is private, provided by a well whose evaluation is beyond the scope of this report and

Inspection Connection LC

which was NOT EXAMINED. Local and regional standards of acceptable flow and water quality vary greatly and the domestic well SYSTEM and associated COMPONENTS should be INSPECTED by a QUALIFIED water well specialist.

7.4 PRIVATE WASTE DISPOSAL

ACTION RECOMMENDED

This property is served by a private waste system whose evaluation is beyond the scope of this inspection but that should be INSPECTED. ACTION RECOMMENDED by a QUALIFIED septic SYSTEM inspection service.

7.5 FAUCETS AND SINKS

ACTION RECOMMENDED

Faucet levers are loose at the attachments (noted at the right side master suite sink).

There is a leak at a drain connection below a sink (noted at the hall bathroom).

A faucet leaks around the base above the sink (noted at the sunroom bathroom sink).

IMPROPER flexible type drain piping installed at sink drains (noted at each master suite sink). Flexible piping should be serviced to meet GENERALLY ESTABLISHED PRACTICES which will typically require installation of smooth wall pipes that drain reliably.

ACTION RECOMMENDED by a QUALIFIED plumber.

7.6 TUBS AND SHOWERS

ACTION RECOMMENDED

(1) Shower head flow is limited consistent with blockage by sediment (noted at the sunroom bathroom).

Tub control valves are loose in the wall and or at attachments (noted at the jet tub).

ACTION RECOMMENDED by a QUALIFIED plumber.

(2) There are separated and or open grout-joints in the tiled stall showers. ACTION RECOMMENDED by a QUALIFIED tile installation contractor.

7.7 TOILETS

ACTION RECOMMENDED

A toilet is loose at its bolted attachment to the floor and should be serviced to be secure and leak free (noted at the sunroom bathroom). ACTION RECOMMENDED by a QUALIFIED plumber.

7.8 JET TUB MOTOR AND PIPING

ACTION RECOMMENDED

The jet tub pump motor electric receptacle is not Ground Fault Circuit Interrupter protected by a READILY ACCESSIBLE GFCI breaker or receptacle. ACTION RECOMMENDED by a QUALIFIED electrician.

7.9 HOT WATER HEATER INFORMATION

ACTION RECOMMENDED

A continuous heating, tankless type water heater/ boiler serves the home. Tankless water heaters are more energy efficient than most storage tank type units. You should review manufacturers recommended maintenance materials for the unit since some require routine flushes or service to limit mineral buildup and to extend service life.

A flat plate solar water heating collection and storage SYSTEM is installed in the home (noted at the garage roof area). COMPONENTS controls and designs of solar thermal water heating SYSTEMS vary greatly. The solar water heating SYSTEM provided hot water at the time of the inspection. You should ask the sellers to provide a comprehensive owners instruction and maintenance documentation set. If this documentation is not available the SYSTEM should be EXAMINED by a QUALIFIED solar thermal installation contractor who can explain the correct use and maintenance and provide a comprehensive set of home owner instruction and maintenance documents.

Inspection Connection LC

7.10 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

ACTION RECOMMENDED

IMPROPER reduction of the Temperature and Pressure Relief drain line was noted at the water heater/boiler connection to the TPR valve. Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED plumbing contractor.

7.13 FUEL STORAGE AND DISTRIBUTION

ACTION RECOMMENDED

The property is serviced by a propane gas storage and supply SYSTEM. Area propane service providers and local, state and national regulatory organizations enforce specific rules on the positioning, maintenance and service of propane storage vessels and a complete evaluation of the propane tank installation is beyond the scope of this inspection. The propane supply and storage SYSTEM should be EXAMINED by your chosen propane gas supplier to insure that the property can be serviced.

8. Heating, Ventilation and Air Conditioning

8.1 IN FLOOR HEATING

ACTION RECOMMENDED

The in floor/slab recirculation piping installed is a plastic poly-butylene (PB) material (visible at the solar equipment closet and at the master bedroom closet valve manifolds). This piping material and it's fittings have a history of failure in residential potable water distribution applications. Additionally, PB piping has no oxygen barrier, and this can lead to corrosion of metal surfaces in pumps, boilers and valves for in-floor recirculated SYSTEMS. This PB piping installation and radiant heating/cooling SYSTEM should have further EXAMINATION by a QUALIFIED radiant floor installation and service contractor. Any service required after their INSPECTION should be completed by a QUALIFIED contractor.

10. Interiors

10.1 WINDOWS

ACTION RECOMMENDED

Operable type windows are bound or wedged shut (noted at a number of areas in the home).

Evidence consistent with leaks at window frames and or frame perimeters (noted water stain at a number of interior wood window frames) should be serviced to be re-sealed at the exterior.

Insect screens are missing at a number of windows.

Each window in the home should have further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED window repair contractor.

10.2 DOORS

ACTION RECOMMENDED

A door to the exterior rubs and or does not open or close reliably (noted at the master suite to yard door). Doors that do not open smoothly or reliably should be serviced.

Pocket doors interfere and or rub at the wall jamb opening (noted at the laundry room).

Further EXAMINATION and ACTION RECOMMENDED as deemed necessary by a QUALIFIED carpenter.

10.3 DOOR HARDWARE

ACTION RECOMMENDED

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Latches do not reliably secure exterior doors (noted at the garage to sunroom door). ACTION RECOMMENDED by a QUALIFIED carpenter.

10.4 CEILINGS

ACTION RECOMMENDED

(1) There is moisture impact to the ceiling in the form of stains and or distorted drywall finish consistent with movement of water through the roof deck from precipitation (noted at the back guest bedroom). These areas should be documented as stabilized by known repairs from a QUALIFIED technician or the roof SYSTEM should be serviced by a QUALIFIED roofing contractor. After leakage issues are stabilized, damaged drywall and paint should be serviced by a QUALIFIED drywall and painting technician.

(2) There is moisture impact to the ceiling in the form of stains and or distorted wood COMPONENTS consistent with movement of water movement through the roof deck from precipitation (noted at the sunroom bathroom). These areas should be documented as stabilized by known repairs from a QUALIFIED technician or the roof SYSTEM should be serviced by a QUALIFIED roofing contractor.

10.7 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

ACTION RECOMMENDED

Balusters at balconies or stairs are wider than 4" apart and may allow a small child to pass through (noted at the garage). Balusters with wide spacing should be serviced by a QUALIFIED carpenter or contractor to meet GENERALLY ESTABLISHED PRACTICES and to limit risk of pass through by a child.

Handrails at stairs do not return to the wall (noted at the garage). Rail ends gapped from the wall should be serviced to limit risk of hang ups on clothing and or purse straps.

ACTION RECOMMENDED by a QUALIFIED carpenter.